

# CONTRACT AGREEMENT

This Contract Agreement ("Agreement") is made and entered into on 05 February 2026.

BETWEEN

**AAKASH CONSTRUCTION PVT. LTD.**, a company incorporated under the laws of Nepal  
Regd. No: 45854/063/064  
VAT No. 302553660  
Office at Suryabinayak, Ward No. 5, Bhaktapur, Nepal  
hereinafter referred to as the "Contractor",  
**AND**

**NAGARJUN LEARNING CENTER**, a non-profit organization,  
Regd No. 826  
Pan No. 612747030  
having its address at House No. 183, Gyan Jyoti Marga, Ward No. 16, Kathmandu,  
hereinafter referred to as the "Client",  
**AND**

**Mr. Nigel Groome**, residing in Oxford, United Kingdom,  
hereinafter referred to as the "Donor".

## WHEREAS

- A. The Client is the lawful occupier and operator of the Nagarjun Learning Center, Saldum Branch, Dhading, Nepal ("Project Site").
- B. The Contractor has carried out a condition assessment and submitted a "Condition Assessment and Rehabilitation Proposal" dated 29 January 2026 ("Technical Proposal").
- C. The Donor has agreed to financially support the Project purely as a charitable donation, without assuming any contractual, technical, or legal liability.
- D. The Parties desire to set out their respective rights and obligations in connection with the rehabilitation works.

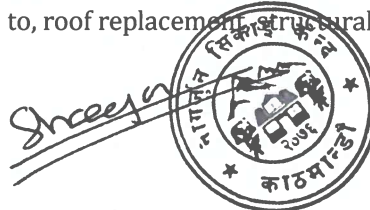
NOW THEREFORE, in consideration of the mutual covenants herein, the Parties agree as follows:

## 1. SCOPE OF WORK

1.1 The Contractor shall execute and complete the rehabilitation works strictly in accordance with the Technical Proposal, including:

- (a) OPTION A - Essential Works (Section 7.1); and
- (b) OPTION B - Additional Strongly Recommended Works (Section 7.2).

1.2 The scope includes, but is not limited to, roof replacement, structural strengthening,



installation of doors and windows, kitchen and toilet rehabilitation, front yard paving, and all incidental and associated works.

1.3 The Technical Proposal dated 29 January 2026 is attached hereto and forms an integral part of this Agreement.

1.4. Dismantling of roof should be carried out to the extent that can be replaced by new roof on same day.

## 2. CONTRACT PRICE AND PAYMENT

2.1 The total lump-sum contract price shall be NPR 1,933,184.23 (inclusive of VAT and all applicable taxes).

2.2 Payments shall be made to the Contractor's designated bank account.

2.3 Payment schedule:

### **Milestone 1 - Mobilization (40%)**

Forty percent (40%) of the Contract Price shall be paid upon signing this Agreement and within five (5) days, to enable mobilization, procurement of materials, and preparation for construction.

### **Milestone 2 - Kitchen and Roofing/Guttering Works (20%)**

Twenty percent (20%) of the Contract Price shall be paid upon visible and satisfactory completion of kitchen construction and roofing/guttering works (excluding plastering), as confirmed by the Learning Centre.

### **Milestone 3 - Toilet, Upfront PCC, Plastering, Painting, and Remaining Works (20%)**

Twenty percent (20%) of the Contract Price shall be paid upon completion of toilet works, upfront PCC, plastering, painting, and all remaining works, as confirmed by the Learning Centre.

### **Milestone 4 - Final Inspection and Approval (20%)**

The remaining twenty percent (20%) of the Contract Price shall be paid upon final inspection and written confirmation from the Learning Centre of satisfaction with all completed works, including acknowledgment of any applicable material and workmanship guarantees, particularly for roofing and guttering.

## 3. TIME FOR COMPLETION

3.1 The Contractor shall complete the Works within approximately Thirty Five (35) working days from the Commencement Date. The completion period shall be subject to extensions arising from force majeure events, delays in material supply from manufacturers or suppliers beyond the Contractor's reasonable control, or any variations mutually agreed upon in writing by both parties.

## 4. OBLIGATIONS OF THE CONTRACTOR

The Contractor shall:

- (a) Execute the Works in a professional and workmanlike manner;
- (b) Provide all labor, materials, tools, and supervision;



- (c) Ensure site safety and protection of existing interior and finishes;
- (d) Comply with applicable laws, codes, and regulations.

#### 5. OBLIGATIONS OF THE CLIENT

The Client shall:

- (a) Provide uninterrupted access to the Project Site;
- (b) Facilitate coordination and decision-making;
- (c) Update the donor on progress by photos, videos and texts and recommending milestone payments as appropriate.
- (d) Assume full responsibility for operation, maintenance, and safety after completion.

#### 6. DONOR'S LIMITED ROLE AND DISCLAIMER

6.1 The Donor's sole obligation is limited to funding the agreed contract amount.

6.2 The Donor shall bear no responsibility whatsoever for:

- (a) Design adequacy, workmanship, or material quality;
- (b) Project delays, disputes, or cost overruns;
- (c) Structural performance, safety, or future maintenance.

6.3 No contractual, fiduciary, or agency relationship is created between the Donor and the Contractor.

#### 7. VARIATIONS AND UNFORESEEN CONDITIONS

7.1 Any unforeseen conditions shall be addressed through mutual written agreement between the Contractor and the Client.

7.2 No variation shall be binding unless recorded in writing.

#### 8. DISPUTE RESOLUTION AND GOVERNING LAW

8.1 This Agreement shall be governed by and construed in accordance with the laws of Nepal.

8.2 Any dispute shall be resolved exclusively between the Contractor and the Client.

#### 9. ENTIRE AGREEMENT

This Agreement constitutes the entire agreement among the Parties and supersedes all prior understandings.

IN WITNESS WHEREOF, the Parties have executed this Agreement on the date first written above.

#### FOR AND ON BEHALF OF AAKASH CONSTRUCTION PRIVATE LIMITED:

Signature

Arjun Lakha  
Director

Date: 2026.02.05



**FOR AND ON BEHALF OF NAGARJUN LEARNING CENTER:**

Signature  
Shreejan Simkhada  
President  
Date: 2026.02.05



**FOR AND ON BEHALF OF MR. NIGEL GROOME (THE DONOR):**

Signature  
Nigel Groome  
Date: 2026.02.05

*Nigel Groome*

# CONDITION ASSESSMENT AND REHABILITATION PROPOSAL

Nagarjun Learning Center, Saldum Branch  
Dhading, Nepal



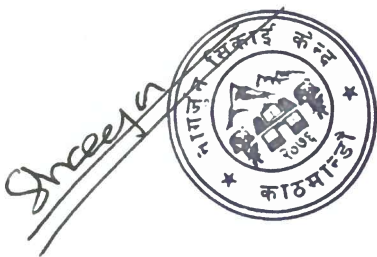
## Prepared for:

Nagarjun Learning Center  
Saldum Branch, Dhading

## Prepared By:

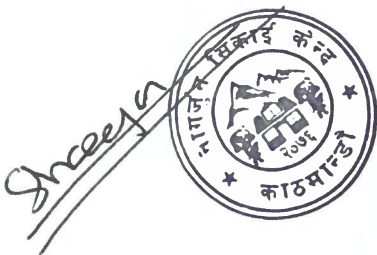
Aakash Construction Pvt. Ltd  
Suryabinayak, Bhaktapur

January 29, 2026



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## 1. EXECUTIVE SUMMARY

At the request of Nagarjun Learning Center, Aakash Construction Pvt. Ltd. conducted a site visit to Nagarjun Learning Center, Saldum Branch, Gumdi, Dhading, to assess the existing condition of the building and identify required repair and rehabilitation works. The assessment was carried out through visual inspection, interaction with representatives of the Learning Center, and consultation with the donor.

The initial concern raised was water leakage from the roof; however, the site assessment revealed multiple additional issues affecting the structural integrity, functionality, and hygiene of the facility. These include roof deterioration due to rusting of corrugated galvanized sheets, inadequate thermal insulation, localized structural sagging, pest infestation, gaps in doors and windows, wall cracks, and poor kitchen layout and pest-proofing conditions.

Based on the findings, this report proposes a comprehensive scope of rehabilitation works aimed at improving safety, durability, and usability of the Learning Center while preserving existing artistic wall finishes and minimizing disturbance to the masonry structure.

This report is submitted for review and approval by the donor and Nagarjun Learning Center management. Upon approval of the proposed scope, cost estimate, and implementation schedule, the rehabilitation works shall be executed by the Contractor in accordance with the approved plan, applicable standards, and agreed timelines.

## 2. PURPOSE AND SCOPE OF THE REPORT

The purpose of this report is to present the findings of a technical condition assessment carried out at Nagarjun Learning Center, Saldum Branch, based primarily on visual inspection of accessible building components. The report aims to identify the nature, causes, and potential implications of observed defects related to roofing, structural elements, building envelope, hygiene, and pest intrusion.

The report further proposes appropriate repair and rehabilitation measures supported by professional judgment, prevailing construction practices, and site conditions. It is intended to assist the donor and the Nagarjun Learning Center management in informed decision-making by providing a clear basis for review, approval, cost estimation, and implementation planning.



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### 3. SITE ACCESSIBILITY

#### 3.1 Accessibility from Kathmandu

Nagarjun Learning Center is located in Saldum village, Ganga Jamuna-4, Dhading District, at an approximate total travel distance of about 110–120 km from Kathmandu (depending on the selected route). Access to the site involves a combination of blacktopped road, gravel road, and off-road rural track, which has direct implications for construction logistics and scheduling.

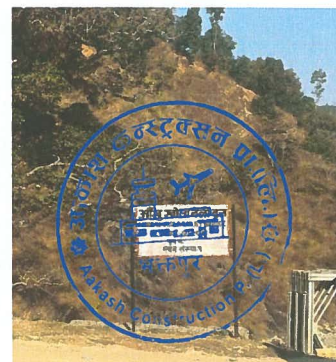
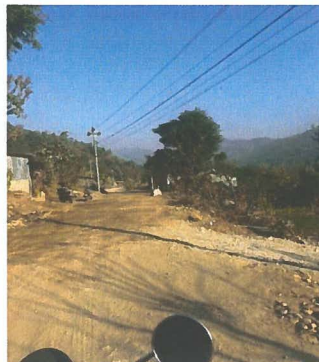
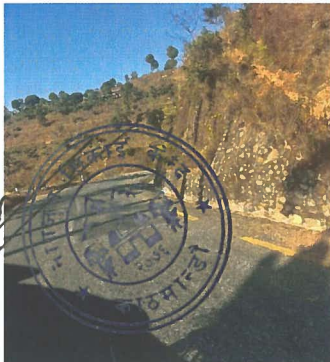


##### a) Kathmandu to Dhading Besi

- This section is accessible via the national highway network.
- The road condition is predominantly **blacktopped**, suitable for all types of vehicles.
- Travel time is generally reliable under normal weather conditions.

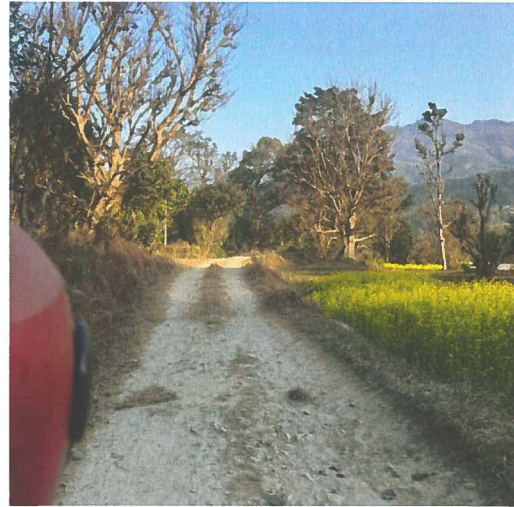
##### b) Dhading Besi to Ankhlu Khola Bridge

- From Dhading Besi, the route continues towards Ankhlu Khola Bridge.
- This section consists of a **mixed road condition**, including **partial blacktopped sections and partial gravel/earthen road segments**.
- The road is motorable under normal conditions, but travel speed is reduced due to uneven surfaces and changing road quality.
- During the monsoon season, gravel and earthen sections may become slippery, affecting accessibility and travel time.



**c) Ankhu Khola Bridge to Nagarjun Learning Center (Saldum)**

- From Ankhu Khola Bridge to the Learning Center, the route comprises approximately **15.3 km of off-road / rural track**.
- This section is suitable primarily for **four-wheel-drive vehicles** and light construction transport.
- Accessibility is **highly weather-dependent**, with potential difficulties during rainfall due to muddy surfaces, slope instability, and localized obstructions.



The site accessibility has direct implications on material transportation, labor mobilization, and construction scheduling, and has therefore been considered in the proposed cost and implementation timeline.

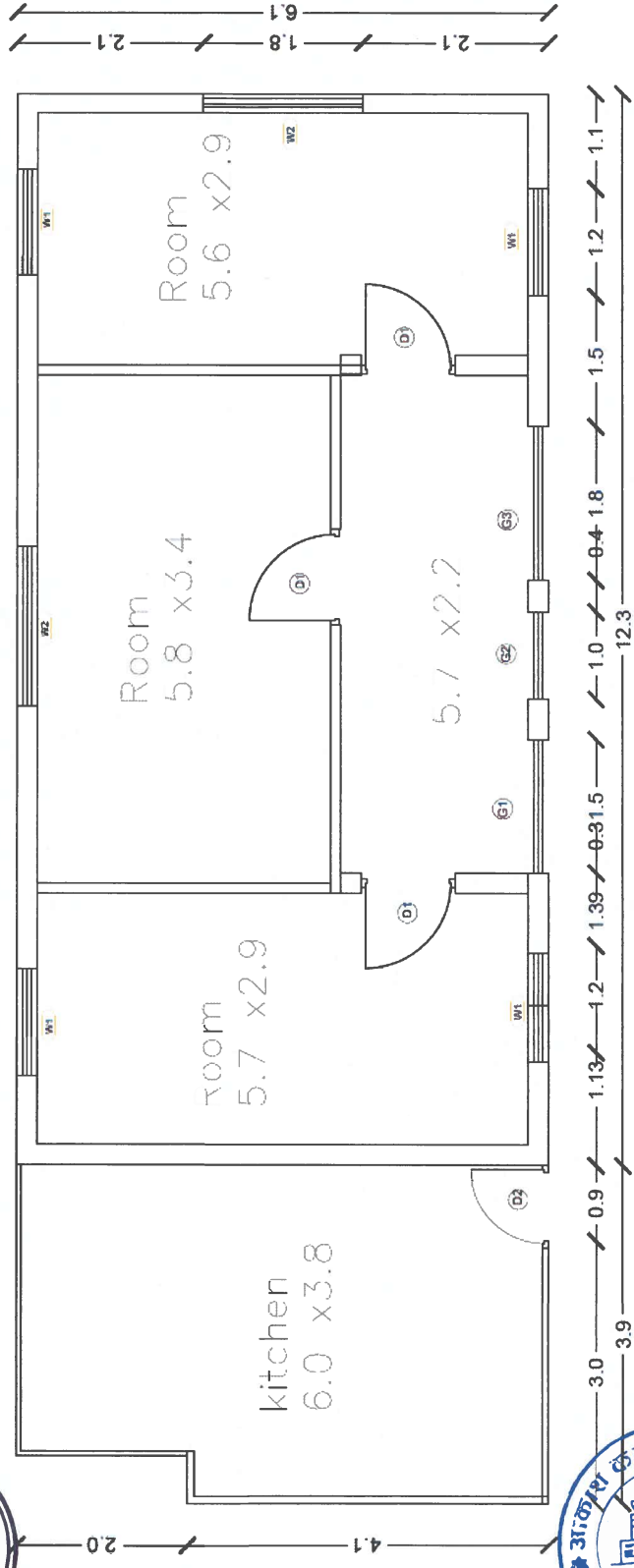
Some of the section of the road is significantly deteriorated and will have significant impact on the transportation of the construction material.

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GROUND FLOOR PLAN



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## 5. OBSERVED CONDITION ASSESSMENT

### 5.1 Roof System – Leakage and Thermal Performance

#### Observed Condition:

- CGI roof sheets show rusting and corrosion at multiple locations
- Leakage observed during and after rainfall
- Corrosion evident around fasteners and overlaps
- Absence of thermal insulation beneath CGI sheets
- Water leakage observed despite the presence of waterproof plywood
- No gutter or organized roof drainage system has been provided along the roof edges of either the main building block or the kitchen block.





**Remarks:**

- The existing CGI roof sheets will be replaced with **Puff roof Panel** to address corrosion, leakage, and long-term durability issues.
- All roofing sheets will be installed with properly sealed fasteners and overlaps in accordance with manufacturer specifications to prevent future water ingress.
- A complete gutter and downpipe system will be installed along the roof edges of both the main building block and the kitchen block to ensure controlled roof drainage.
- The gutter system will be connected either to a rainwater harvesting arrangement or to a designated safe discharge point, reducing surface runoff and improving overall water management around the building.
- Sealant to roof and masonry joints.

**5.2 Structural Condition – Sagging of Beam/Truss Members**

**Observed Condition:**

- Visible sagging/deflection observed in certain roof-supporting beam or truss members
- Minor cracking observed near beam–wall junctions
- Trusses are directly seated on masonry walls without visible bearing pads

**Causes:**

Insufficient structural member size.

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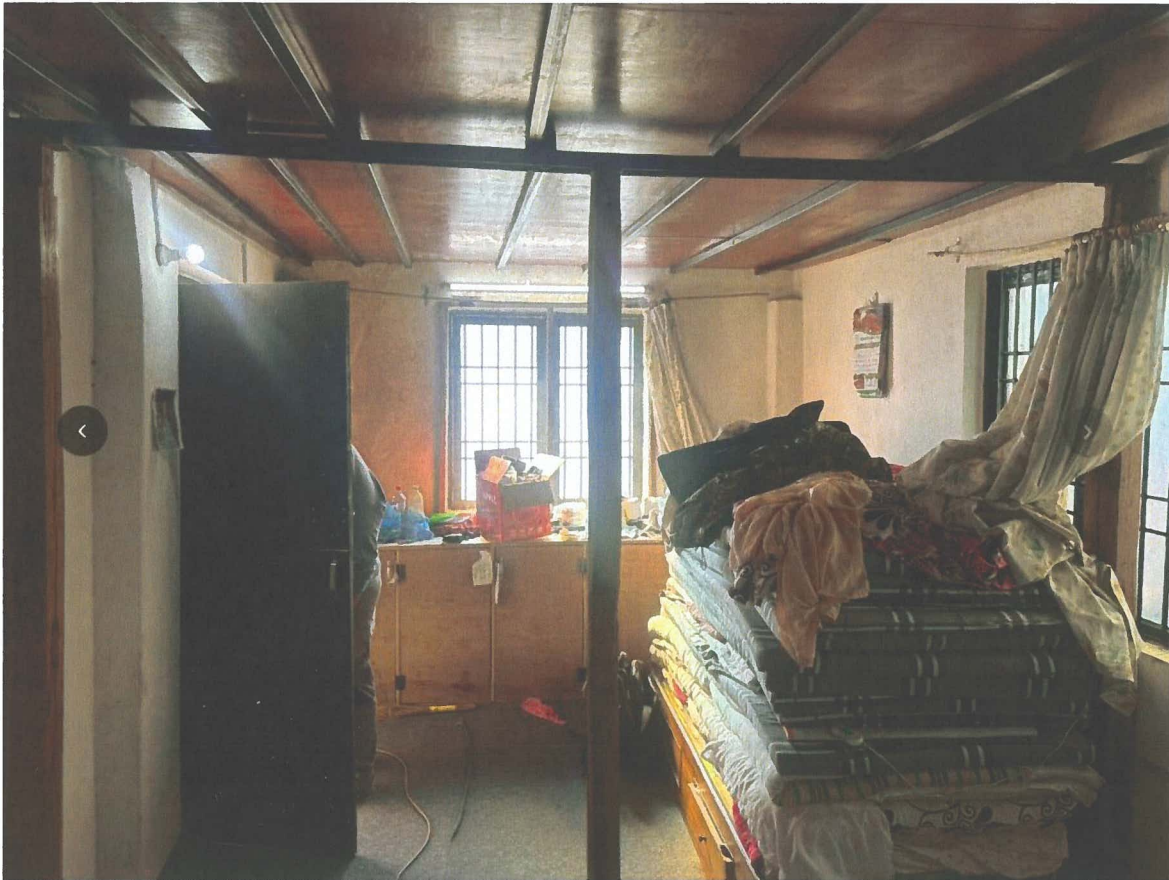
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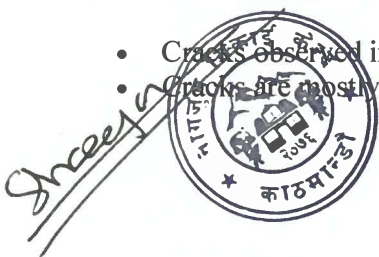
#### Remarks:

- **Square steel pipe columns will be installed at the corners and middle of the building edges to support roof loads.**
- **The existing C-channel beams will be replaced with steel I-section beams, which will be placed on the square steel pipe columns.**
- **Bearing plates and proper connections will be provided to ensure safe load transfer and prevent stress on masonry walls.**

#### 5.3 Walls and Cracks

##### Observed Condition:

- Cracks observed in wall plaster at various locations
- Cracks are mostly vertical or diagonal and limited to plaster surfaces



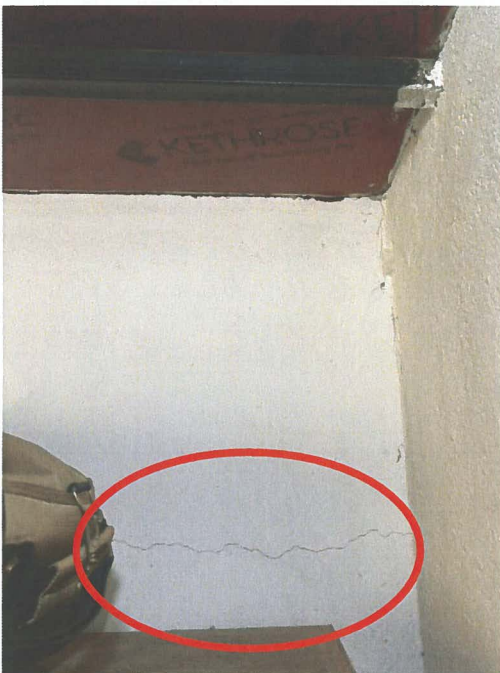
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- No visible displacement or separation of masonry units

**Remarks:**

Based on visual inspection, the cracks appear to be **non-structural in nature** and mainly associated with moisture ingress, thermal effects, and aging of finishes.

- Repair of plaster cracks will be carried out using suitable patching and finishing materials.
- A protective sealant or primer coat will be applied after repair to enhance durability and prevent recurrence.



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काठमाडौं

आकाश कन्स्ट्रक्शंस प्राइवेट लिमिटेड  
भक्तपुर  
Akash Construction P. (L) Ltd.

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#### 5.4 Doors and Windows

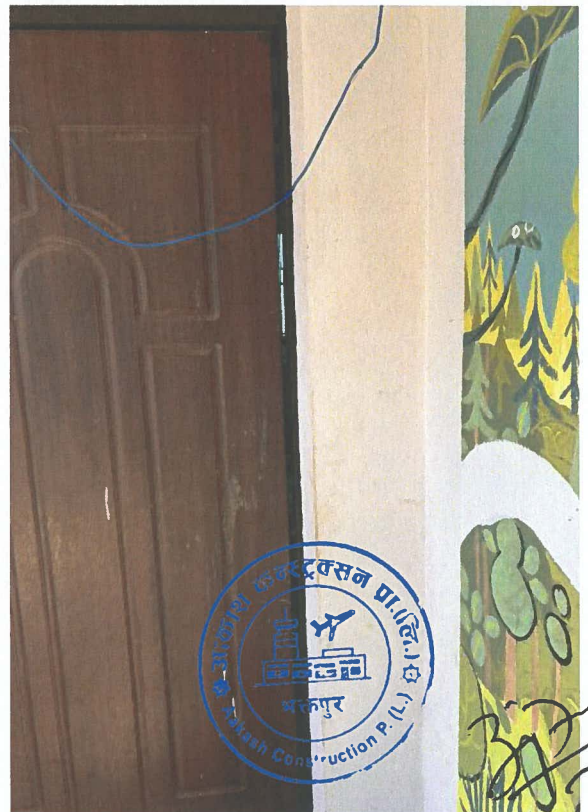
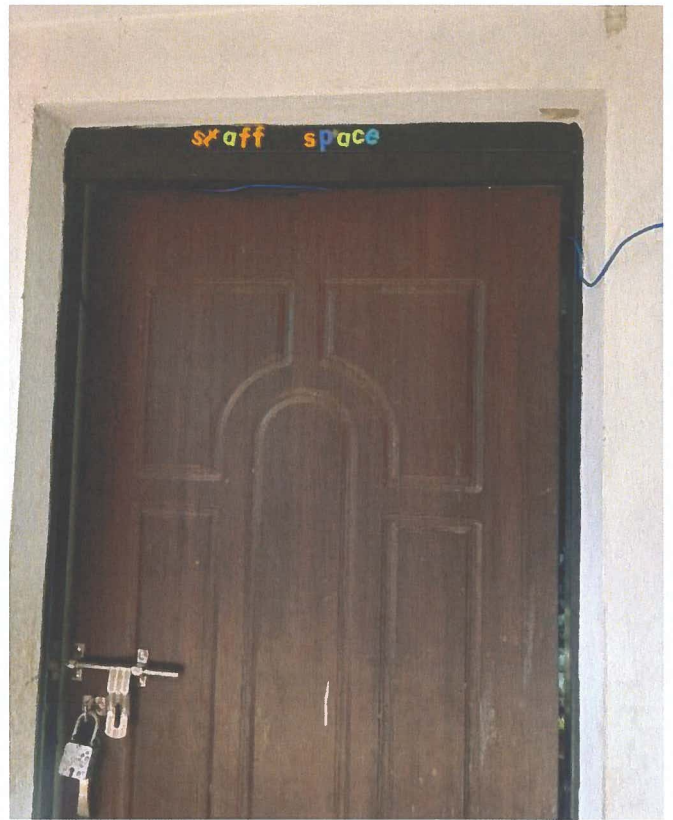
##### Observed Condition:

- The main entrance gate to the building consists of an iron grill system without fine mesh or physical barriers, allowing entry of pests, rodents, and small wildlife (e.g., rats and snakes).
- Door and window frames are locally fabricated iron frames, resulting in dimensional inaccuracies and misalignment between frames and shutters.
- Visible gaps are present at frame–masonry interfaces and around shutters due to fabrication tolerances, corrosion, and inadequate sealing.
- While iron grill doors provide a basic level of **security and visibility**, the absence of pest-proof detailing (mesh, seals, thresholds) compromises **hygiene and building integrity**.
- Frame misfits reduce operational performance, accelerate corrosion, and increase vulnerability to **air, water, and pest ingress**.
- The existing condition facilitates entry of insects, rodents, and small wildlife, posing health and safety risks to occupants.
- Gaps and misalignments contribute to moisture ingress during rainfall and reduce the overall durability of doors and windows.

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### Remarks:

- **An aluminum door will be installed at the main entrance** over the existing iron grill to enhance sound proofing, security, durability, and pest-proofing. This intervention will provide a uniform, durable, and hygienic enclosure, improve thermal performance, and allow adequate clearance for ventilation and exhaust installations, while maintaining existing pest control measures.
- **Metal brackets or plain steel strips will be installed** at locally welded iron frame–masonry junctions or hinge points to align the doors and shutters properly.
- **Interior doors and windows with locally fabricated iron frames and wooden shutters** will be replaced by aluminum doors.
- **Aluminum sliding mesh frames will be installed on all windows**, allowing full operation of the windows while providing **durable pest-proofing**.

### 5.5 Kitchen Area – Functional and Hygiene Issues

#### Observed Condition:

- The kitchen facility is partially enclosed. In approximately half of the kitchen area, the lower portion of the external walls is constructed using hollow concrete blocks up to about 1.6 m height.
- The remaining portion of the kitchen enclosure is formed using galvanized iron (GI) sheets and waterproof plywood, with internal partitioning also carried out using waterproof plywood.
- Iron grill panels with properly installed pest mesh are provided, and no visible gaps were observed in the grill sections.
- The kitchen roof is constructed using corrugated galvanized iron (CGI) sheets, without thermal insulation.
- The overall internal height of the kitchen is lower than that of the main masonry blocks of the building.



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**Remarks:**

- It is recommended to construct the remaining kitchen enclosure fully using hollow concrete block masonry and to raise the overall kitchen height to match the main building block level.
- Aluminum Windows with mesh will be provided to ensure uniform, durable, and hygienic enclosure, improve thermal performance, and allow adequate clearance for ventilation and exhaust.
- The roof of kitchen to be replaced with puff roof panel as for the main building.

**5.6 Toilet Area**

**Observed Condition:**

- The toilet area consists of three partitions: 2 toilets and 1 bathroom.
- One toilet uses a commode system (cover broken) and the other uses a pan system.
- Partitions are currently made of GI sheets with steel pipe frames, which are rusting at the base, reducing durability and hygiene.
- Roof is provided with CGI sheets.



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**Remarks:**

- Walls will be rebuilt using concrete blocks for improved durability, hygiene, and structural stability.
- Steel pipe frames will be removed or replaced where necessary, and the new partitions will be properly anchored to the floor.
- Existing CGI sheets will be provided as roofing over the concrete block partitions to maintain lightweight coverage and waterproofing.
- Commode cover will be replaced.

### 5.7 Front yard and Entry Gate

**Observation:**

- Front yard is unpaved, and during the rainy season, the area becomes muddy and slippery for the children.
- Main gate hinges are rusted, causing operational difficulty and potential structural failure.

**Remarks:**

- PCC laid over Stone soling will be done in the front yard to provide a stable, durable, and non-muddy surface for safe access.
- Gate hinges will be replaced or reinforced, ensuring smooth operation, improved durability, and safety.
- These measures will enhance accessibility, safety, and longevity of the entrance and surrounding area.

## 6. CONSERVATION-ORIENTED REHABILITATION APPROACH

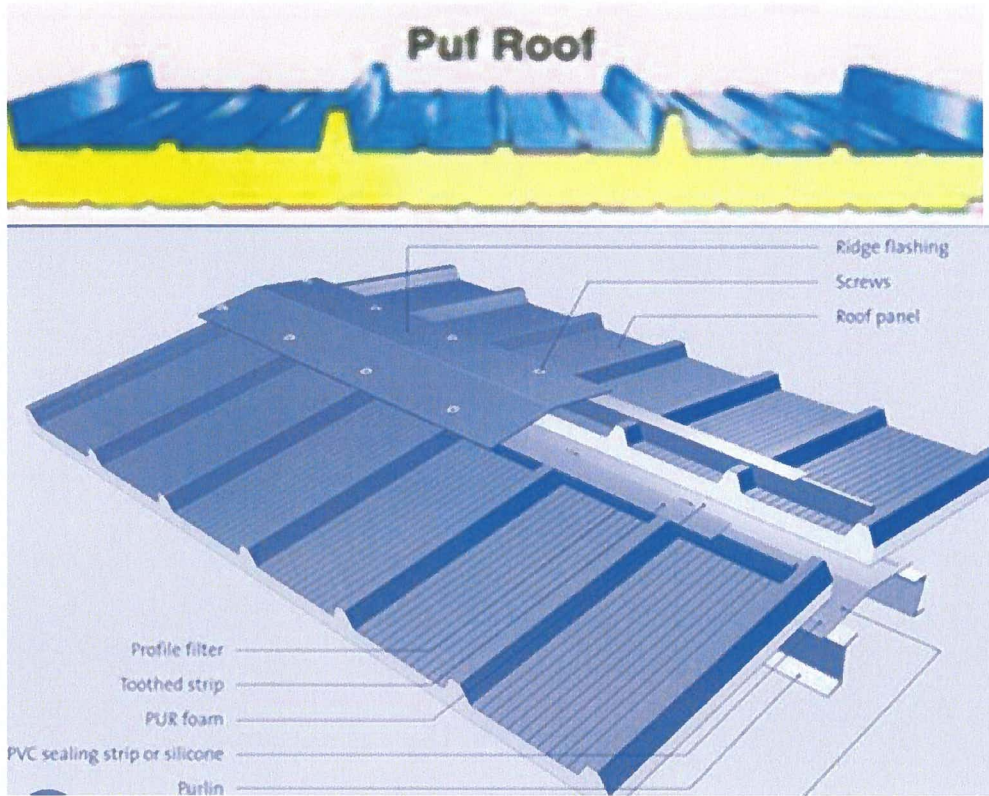
Considering the emotional and artistic value of existing wall paintings and finishes, all recommended rehabilitation measures are proposed using **non-destructive and localized repair techniques**. The objective is to preserve artworks and finishes while improving structural integrity, weather resistance, hygiene, and overall usability of the facility.



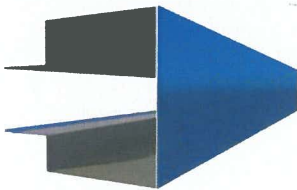
## 7. RECOMMENDED REHABILITATION WORKS

### 6.1 Essential Works

- Replacement/repair of rusted CGI roof sheets.
- Provision of puff roof panels for thermal insulation



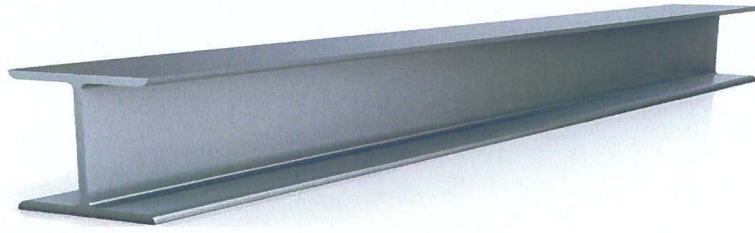
- Improvement of roof drainage and junction detailing; addition of gutter system with water harvesting.



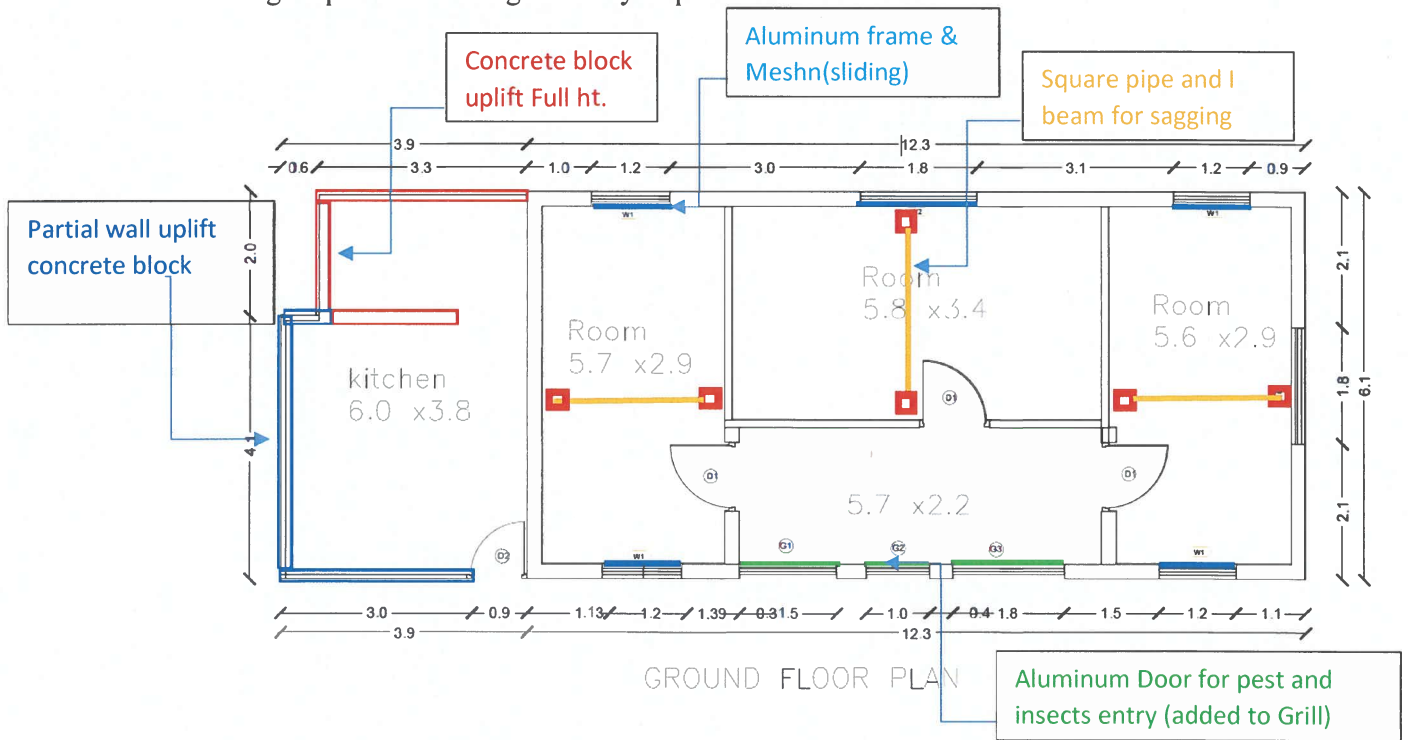
- Installation of square steel pipe supports at building corners and mid-span, and replacement of existing C-channel with I-beam for sagging roof members.



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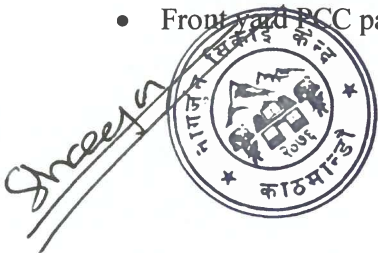


- Installation of aluminum door at the main entrance.
- Installation of aluminum sliding frames with aluminum mesh for operable windows to ensure pest-proofing while allowing ventilation.
- Sealing and fixing of misfit of iron framed door and window frames.
- Hinge replacement and gate safety improvement.



## 6.2 Associated and Preventive Works (Strongly Recommended)

- Repair of plaster cracks.
- Kitchen rehabilitation including ventilation improvement, thermal comfort, and pest-proof detailing.
- Reconstruction of toilet partitions with concrete blocks, repair of commode system, and existing CGI sheet
- Front yard PCC pavement for stable access for safety.

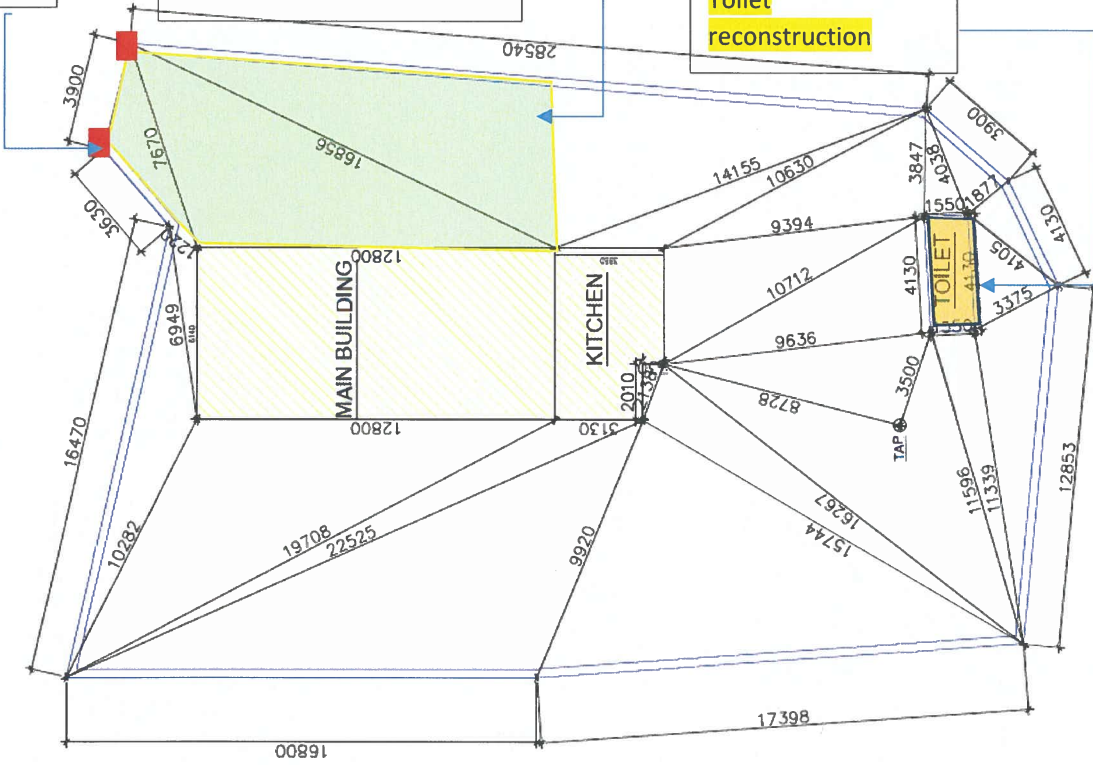


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Hinge and  
frame  
Repair for  
Gate

PCC with stone soling  
proposed for safety

Toilet  
reconstruction



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## 7. COST ESTIMATE (SUMMARY BOQ)

Note: The following cost estimate is based on prevailing local market rates in Dhading district and visual inspection findings.

### 7.1 OPTION A ( Roof Repair and Structural Rehabilitation (Limited Scope)

#### Essential Works

S.N	Description of Work (include Transportation)	Unit	Qty	Rate (NPR)	Amount (NPR)
	<b>Roof &amp; Gutter</b>				
1	Dismantling and removal of existing rusted CGI roof sheets including ridge, eave, flashings, and fasteners carefully without damaging plywood underlayer	Lot	1	15000	15,000
2	Supply and installation of 50 mm thick Blue Color Sandwich PUF Roof Panels with rigid polyurethane foam core density 40 kg/m <sup>3</sup> , width 1 m, length 4 m, exterior prepainted galvanized steel sheet (PPGL) 0.45 mm, interior PPGL 0.45 mm, fire class B, including fixing with self-drilling screws with EPDM washers and PU sealant at overlaps, ridge, eave, and flashing	m <sup>2</sup>	120	5,500	660,000
3	Supply and installation of roof drainage system including gutters 0.8 mm gauge, 6-8 inch width, downpipes, end caps, brackets, drop outlets, and connections to rainwater harvesting or safe discharge, including all necessary	Rm	47	1,200	56,400

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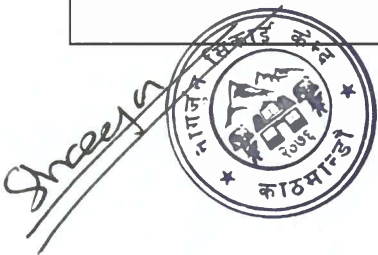
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	supports, fasteners, and sealants				
	<b>Structural Integrity / Beam Sagging</b>				
4	Installation of structural steel support system including square steel pipe columns 75×75 mm, 3 mm thick, and hot-rolled I-beam (flange 10–12 mm, web 6–8 mm) with welded and bolted connections, epoxy primer 50 µm + polyurethane topcoat 50 µm, including temporary support and removal of existing C-channel beams	kg	300	225	67,500
	<b>Pest Control, Sound Insulation</b>				
5	Supply and installation of aluminum main entrance door, powder-coated frame 1.5mm thick, double-layer 0.5 mm aluminum panel, including lock, handle, pest-proof mesh, reinforced corners	m <sup>2</sup>	10.5	9,100	95,550
6	Supply and installation of aluminum sliding windows with removable stainless steel mesh (0.3 mm wire), powder-coated aluminum frame 1.2 mm thick, smooth sliding system, pest-proofing	m <sup>2</sup>	10.5	4,800	50,400
	<b>Frontyard Gate (Main Gate)</b>				0



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7	Hinge replacement and gate safety improvement, stainless steel hinges, grease-lubricated, reinforced attachment plates, anti-corrosion coating	Lot	1	15,000	15,000
<b>Cracks and Misfits</b>					0
8	Repair of wall cracks using cement-sand slurry, mix ratio 1:4 (cement:sand) for patching cracks	m <sup>2</sup>	10	5500	55,000
9	Replacement of Existing Iron Frame Door with powder-coated aluminum frame 1.2 mm thick Panel Door	Sqm	7.2	9,100	65,520
10	Sealant for Roof and Masonry wall joint, waterproof plywood,	Lot	1	50,000	50,000
<b>Painting Works</b>					
11	Providing External Surfaces with Weather Coat paint as per manufacturer's Specification including Primer	m2	90	550	49,500
12	Providing Internal Surfaces with Acrylic plastic Emulsion paint.	m2	150	550	82,500
				<b>Sub-Total</b>	<b>1,262,370.00</b>
				<b>VAT(13%)</b>	<b>164,108.10</b>
				<b>Total</b>	<b>1,426,478.10</b>

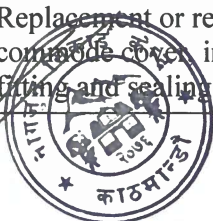


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## 7.2 Option B – Additional Strongly Recommended

S.N	Description	Unit	Qty	Rate (NPR)	Amount (NPR)
<b>1</b>	<b>Kitchen Rehabilitation</b>				
1.1	Construct remaining walls of kitchen with hollow concrete blocks (4" or 6"), laid in cement mortar 1:4 including lintel band	m <sup>3</sup>	4.2	15,000	63,000
1.2	Installation of structural steel support system including square steel pipe columns 75×75 mm, 3 mm thick and accessories	kg	120	225	27,000
1.3	Plastering of inner and exterior walls, 12–15 mm thick, cement:sand 1:4, finished smooth	m <sup>2</sup>	69.25	750	51,938
1.4	Painting of walls with water-resistant acrylic paint	m <sup>2</sup>	69.25	550	38,088
1.5	Supply and installation of aluminum frame with steel mesh	m <sup>2</sup>	8.5	4,800	40,800
				Sub-Total	220,825
<b>2</b>	<b>Toilet Rehabilitation</b>				
2.1	Reconstruct toilet partitions using concrete blocks 4" or 6" thick, laid in cement mortar 1:4	m <sup>3</sup>	5.42	15,000	81,338
2.2	Plastering 12–15 mm thick, cement:sand 1:4, smooth finish	m <sup>2</sup>	45.00	750	33,750
2.4	Replacement or repair of commode cover, including fitting and sealing	Lot	1	2,500	2,500

Shree



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				Sub-Total	117,588
3	<b>Front yard improvement, including stone soling/pavement and gate reinforcement</b>				
3.1	PCC (1:2:4) laid over Stone soling compacted locally available stone, 100–150 mm thick	m <sup>2</sup>	100	1,100	110,000
				Sub-Total	110000
				<b>Total of Additional Works</b>	<b>448,412.50</b>
				VAT(13%)	58,293.63
				<b>Total (Additional recommendation)</b>	<b>506,706.13</b>

S N	Particulars	Amount (NPR)
1	Essential Works	1,426,478.10
2	Additional Recommended works	506,706.13
	<b>Grand Total (Essential + Additional Recommendation) Incl. VAT</b>	<b>1,933,184.23</b>

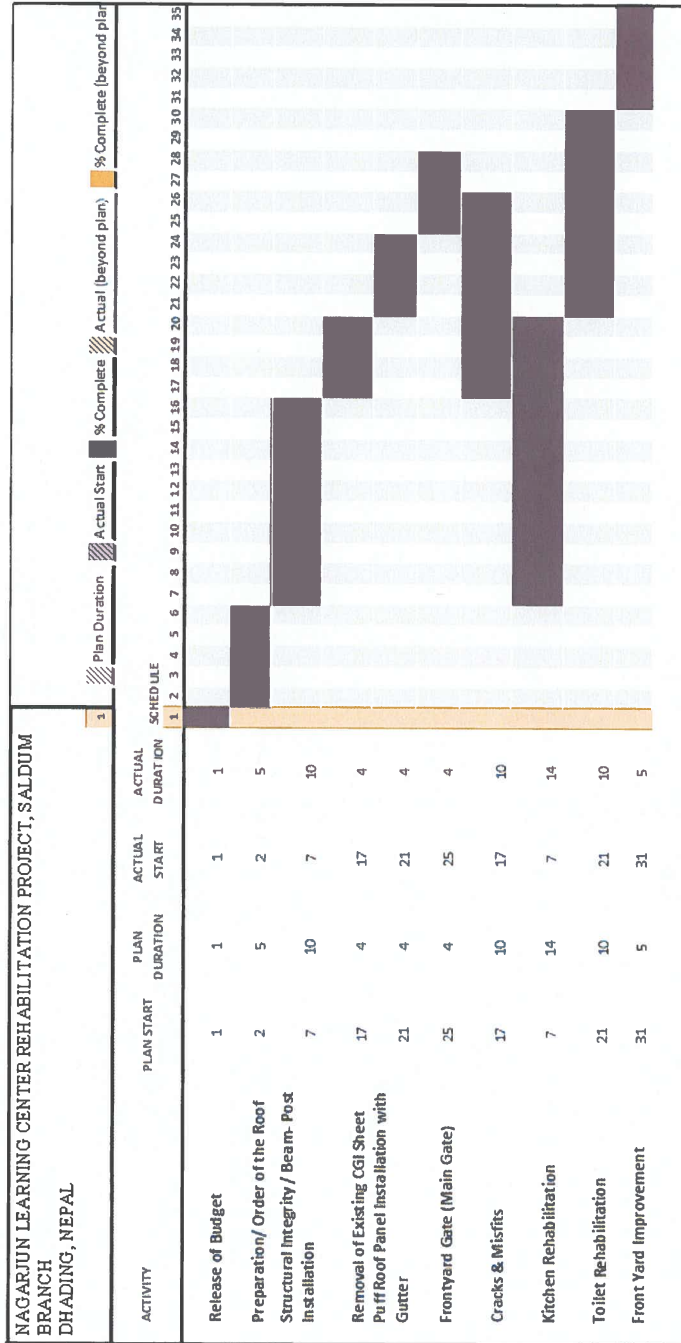
## 8. IMPLEMENTATION SCHEDULE

The proposed rehabilitation works can be completed within a short time frame to minimize disruption to learning activities.

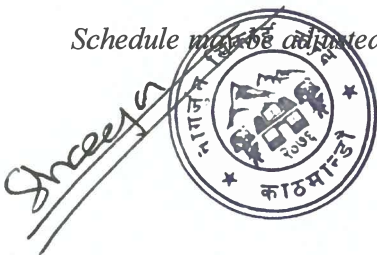
Shree




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*Schedule may be adjusted based on weather conditions and site access.*



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## 9. CONCLUSION

The Nagarjun Learning Center building shows signs of deterioration primarily due to prolonged roof leakage and deterioration of materials. While roof repair is essential, a coordinated rehabilitation approach addressing associated structural, envelope, and hygiene issues is strongly recommended to ensure long-term performance, safety, and suitability of the facility for educational use.

The proposed rehabilitation strategy emphasizes **low cost , quality and durability**, aligning with the objectives of Nagarjun Learning Center and the supporting donor organization.



A handwritten signature in black ink, appearing to be 'F. A. A.', located to the right of the Akash Construction stamp.



# सूर्यविनायक नगरपालिका

नगर कार्यपालिकाको कार्यालय  
कटुञ्जे, भक्तपुर  
३ नं. प्रदेश, नेपाल



## ईजाजत-पत्र



*(Handwritten signature)*

ईजाजत पत्र नं : १२५

मिति : २०६५/६/२५

घ वर्गको निर्माण व्यवसाय इजाजत पत्र सम्बन्धी कार्यविधि २०७५ को दफा २ उपदफा (४) बमोजिम निर्माण व्यवसाय गर्न सूर्यविनायक न.पा. वडा नं. ५ स्थित कार्यालय भएको आकाश कन्सल्टन्ट प्रा. लि.

फर्म वा कम्पनीलाई यो इजाजतपत्र प्रदान गरिएको छ । श्री केशव दुवाल

घ



ईजाजतपत्र दिनेको

दस्तखत

नाम

पद

मिति

*(Handwritten signature and date: 2065/10/14)*

जि.वि.स भक्तपुरमा मिति २०६४/३/०४ मा इजाजत नं. ५४ प्राप्त भएको यस कम्पनि को यस न.पा. अभिलेख शर्की प्र.पत्र सिर्जना **नविकरण**

नविकरण गरेको मिति	नविकरण बहाल रहने अवधि	नविकरण बस्तुर भौचर नं र मिति	नविकरण गर्ने अधिकारी	नविकरण गर्ने अधिकारीको दस्तखत
२०६५/६/२५	२०६६ साल असार महिना	२०६५/६/२५ ३१६२६	<i>(Signature)</i>	<i>(Signature)</i>
२०६६/८/८	२०६६ साल असार महिना	२५६२	<i>(Signature)</i>	<i>(Signature)</i>
२०६६/१०/२३	२०६६ साल असार महिना	३६८९	<i>(Signature)</i>	<i>(Signature)</i>





नेपाल सरकार  
उद्योग, वाणिज्य तथा आपूर्ति मन्त्रालय  
कम्पनी रजिष्टारको कार्यालय

प्रा.लि./प.लि. ४२८२४/०६३/०६४

## प्रमाण-पत्र

श्री आकाश कन्स्ट्रक्सन  
प्राइभेट/पब्लिक लिमिटेड कम्पनी ऐन, २०६३ बमोजिम सम्बत्  
२०...६४... साल... ज्येष्ठ १... गते रोज ३... मा दर्ता भएको  
हुनाले यो प्रमाण-पत्र दिइएको छ ।

मिति : २०६४/२/१/३

सहायक रजिष्टार

शर्त कम्पनी संस्थापनलाई मात्र कम्पनीको उद्देश्य कार्यान्वयन गर्ने इजाजत प्रदान गरिएको नमानिने हुनाले कानून अनुसार  
लिनुपर्ने अनुमति सम्बन्धित निकायबाट लिएर मात्र कम्पनीको उद्देश्य अनुसार कारोबार गर्नु पर्नेछ ।



नेपाल सरकार  
अर्थ मन्त्रालय  
आन्तरिक राजस्व विभाग



स्थायी लेखा नम्बर (PAN) दर्ता प्रमाण पत्र

स्थायी लेखा नम्बर : ३ ० २ ५ ५ ३ ६ ६ ०  
आन्तरिक राजस्व कार्यालय : आन्तरिक राजस्व कार्यालय भक्तपुर

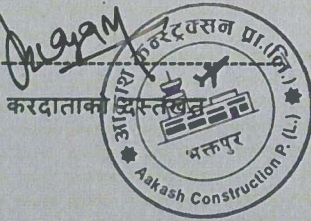
दर्ता मिति  
आयकर: ०४ ०२ २०६४  
मु. अ. कर: ०४ ०२ २०६४  
दिन महिना साल

कारोबारको नाम : आकाश कन्स्ट्रक्सन प्रा.लि.

करदाताको प्रकार : प्राइभेट लिमिटेड

ठेगाना : वार्ड नं. ५, सल्लाघारी  
नगरपालिका: सूर्यविनायक,  
भक्तपुर

व्यवसायका कारोबारहरु : विविध प्रकारको ठेक्का पट्टा गर्ने,



कर अधिकृतको दस्तखत

करदाताले पालना गर्नुपर्ने कर्तव्यहरु:

- कारोबार गर्दा अनिवार्य रूपमा विल विजक जारी गर्नुपर्छ।
- म्.अ.करमा दर्ता हुनेले प्रत्येक कर अर्वाधि (मासिक वा द्वैमासिक वा त्रैमासिक) समाप्त भएको २५ दिनभित्र म्.अ.कर विवरण तथा म्.अ.कर रकम बुझाउनु पर्छ।
- अन्तःशुल्क लाग्ने कारोबार गर्नेले अन्यथा व्यवस्था गरेकोमा बाहेक प्रत्येक महिना समाप्त भएको २५ दिनभित्र मास्केबारी र अन्तःशुल्क रकम बुझाउनु पर्छ।
- प्रत्येक आर्थिक वर्षका आय विवरण असोज मसान्तभित्र बुझाउनु पर्छ।
- समयमा विवरण र कर रकम नबुझाएमा व्याज, शुल्क र जरिवाना लाग्नेछ।
- यो प्रमाणपत्र देखिने गरी कारोबार स्थल, मुख्य कार्यालयमा राख्नु पर्नेछ।
- कुनै द्विविधा भएमा कार्यालयमा सम्पर्क राख्नुहोला।



# आकाश कन्स्ट्रक्शन प्रा. लि. Aakash Construction P. Ltd.

भक्तपुर

मिति : .....

प.स

## POWER OF ATTORNEY

Date:04 Feb. 2026

I, **Mr. Keshav Duwal**,  
Managing Director  
**Aakash Construction Pvt. Ltd.**  
Office Address: Sallaghari, Bhaktapur, Nepal

do hereby appoint and authorize **Mr. Arjun Lakha**, Director, to be my true and lawful Attorney-in-Fact, acting for and on behalf of **Aakash Construction Pvt. Ltd.**, to do the following acts, deeds, and things:

1. To represent **Aakash Construction Pvt. Ltd.** in connection with construction, rehabilitation, repair, and related projects.
2. To negotiate, finalize, execute, sign, and submit **contracts, agreements, memoranda of understanding, and related legal documents** with clients, donors, institutions, and other parties.
3. To correspond, communicate, and coordinate with clients, consultants, donors, suppliers, and authorities as required for contractual purposes.
4. To take all necessary and incidental actions required to give effect to the above powers.

I hereby confirm and ratify all acts, deeds, and things lawfully done by **Mr. Arjun Lakha** pursuant to this Power of Attorney as if the same were done personally by me.

IN WITNESS WHEREOF, I have hereunto set my hand on this day, month, and year first written above.

Signature: \_\_\_\_\_

**Mr. Keshav Duwal**  
Managing Director  
Aakash Construction Pvt. Ltd.



Company Seal:

**Accepted by Attorney-in-Fact**

I, **Mr. Arjun Lakha**, hereby accept the appointment as Attorney-in-Fact under the terms stated above.

Signature: \_\_\_\_\_

**Mr. Arjun Lakha**  
Director

नेपाल सरकार  
गृह मन्त्रालय  
जिल्ला प्रशासन कार्यालय  
काठमाडौं



निर्णय मिति २०६६।०३।०२  
दर्ता मिति : ०६६।०३।३  
दर्ता नं. : ८२६६.....

प्रमाण-पत्र

श्री अध्यक्षज्यू

श्री. श्रीजन सिम्रानडा  
का. नं. ९६

श्री. श्रीजन सिम्रानडा नामक संस्था, संस्था दर्ता ऐन २०३४ को  
दफा (४) बमोजिम मिति २०६६।०३।०३ मा दर्ता गरी यो प्रमाणपत्र दिइएको छ ।

स्थानीय अधिकारीको सही :-

पूरा नाम :-

दर्ता :-

२०६६।०३।३  
प्रशासकीय अधिकृत

द्रष्टव्य : यो प्रमाणपत्र हरेक आर्थिक वर्ष भित्र नवीकरण गर्नुपर्नेछ ।



१५६-२२-०२३२/५५६६३



काठमाडौं महानगरपालिका  
या मदानगव्यालिका  
नगर कार्यपालिकाको कार्यालय  
काठमाडौं, ३ नं. प्रदेश, नेपाल  
.....१६ वडा कार्यालय



२

गैर नाफामुलक संस्था दर्ता प्रमाणपत्र

दर्ता मिति २०६६।८।३०

प्रमाण पत्र नं. ५२१-१-१-१-१-१



(१) संस्थाको नाम : नागार्जुन सिमरार्ड केन्द्र  
ठेगाना : का.अ.पा.१६ वडा बालाजु  
स्वदेशी/विदेशी : .....  
विषयगत क्षेत्र : सांस्कृतिक संस्था  
संस्थाको कारोबार शुरु भएको मिति : .....  
ई-मेल : ..... सम्पर्क फोन नं. : .....

(२) संचालक/अध्यक्ष/मुख्य व्यक्तिको नाम, थर : श्रीजान सिमरार्ड  
ठेगाना : का.अ.पा.१६  
ई-मेल : ..... सम्पर्क फोन नं. : ९८४९६८३२८३

(३) बहालमा बसेको भए घरधनीको नाम, थर : विमला सिमरार्ड अधिकारी  
ठेगाना : का.अ.पा.१६ वडा बालाजु  
ई-मेल : ..... सम्पर्क फोन नं. : .....

पेश गर्ने

प्रमाणित गर्ने

अन्य निकायबाट स्वीकृत वा इजाजत लिनु पर्ने भए लिनु पर्ने छ। साथै यो प्रमाण पत्र सालवसाली नविकरण गर्नु पर्नेछ।





नेपाल सरकार  
अर्थ मन्त्रालय  
आन्तरिक राजस्व विभाग



स्थायी लेखा नम्बर (PAN) दर्ता प्रमाण पत्र

स्थायी लेखा नम्बर : 

६	१	२	७	४	७	०	३	०
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आन्तरिक राजस्व कार्यालय : आन्तरिक राजस्व कार्यालय बालाजु

कर अधिकृत

दर्ता मिति  
आयकर: 

१४	०९	२०७६
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दिन महिना साल

कारोबारको नाम : नागार्जुन सिकाई केन्द्र  
करदाताको प्रकार : गैर सरकारी सस्था  
ठेगाना : वाई नं. १६, बनस्थली  
महानगरपालिका: काठमाडौं,  
काठमाडौं  
व्यवसायका कारोबारहरु : अन्य सामाजिक तथा सामुदायिक सेवाहरु,

गोपनीय

करदाताको दस्तखत



२०७६.०३.१४  
कर अधिकृत  
कर अधिकृत

करदाताले पालना गर्नुपर्ने कर्तव्यहरु:

- कारोबार गर्दा अनिवार्य रूपमा विल विजक जारी गर्नुपर्छ।
- मू.अ. करमा दर्ता हुनेले प्रत्येक कर अवधि (मासिक वा त्रैमासिक वा चौमासिक) समाप्त भएको २५ दिनभित्र मू.अ. कर विवरण तथा मू.अ. कर रकम बुझाउनु पर्छ।
- अन्तःशुल्क लाग्ने कारोबार गर्नेले अन्यथा व्यवस्था गरेकोमा बाहेक प्रत्येक महिना समाप्त भएको २५ दिनभित्र मास्केवारी र अन्तःशुल्क रकम बुझाउनु पर्छ।
- प्रत्येक आर्थिक वर्षका आय विवरण असोज महिनाभित्र बुझाउनु पर्छ।
- समयमा विवरण र कर रकम नबुझाएमा व्याज, शुल्क र जरिवाना लाग्नेछ।
- यो प्रमाणपत्र देखिने गरी कारोबार स्थल मुख्य कार्यालयमा राख्नु पर्नेछ।
- कुनै द्विविधा भएमा कार्यालयमा सम्पर्क राख्नुहोला।



## समाज कल्याण परिषद

पुल्चोक, ललितपुर, नेपाल  
२०४९

५११०३  
आवद्धता नं.: .....

### आवद्धताको प्रमाण-पत्र

नार्गाजुन सिकाई केन्द्र, काठमाण्डौ

लाई

समाज कल्याण ऐन, २०४९ का दफा १३ बमोजिम २०७६ साल पुस महिना १६ गत

आवद्धताको प्रमाण-पत्र प्रदान गरिएको छ।

## Social Welfare Council

Pulchowk, Lalitpur, Nepal  
1992

Affiliation No. 51103

### CERTIFICATE OF AFFILIATION

This certificate of Affiliation has been issued to

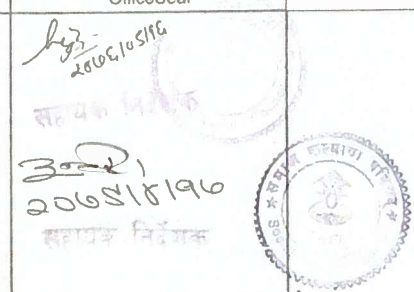
**Nagarjun Learning Center, Kathmandu**

on 2020/01/01 pursuant to section 13 of the Social Welfare Act, 1992

*Sushma Khadka*  
Sushma Khadka  
Assistant Director

नविकरण विवरण  
Renewal Details

कम्पनी संस्थाको नाम :  
Name of Organization/Company -

आवद्धता नविकरण गरेको मिति Date of Affiliation/Renew	नविकरणको अवधि Validity	आवद्धता नविकरण दस्तुर र रसिद न Revenue and Bill No.	आवद्धता नविकरण गर्ने अधिकारीको दस्तखत र कार्यालयको छाप Signature of Authority and Office Seal	कैफियत Remarks
०६-३-१८  ०६३१०४१९६	०६३ असा (प्रस्तावित) को  २०८२ असा (प्रस्तावित) को सम्म	रु. २००१-  रु. ३०००१	 २०६३/०४/१९६ सहायक निर्देशक	

नोट:- आवद्धताको प्रमाणपत्र प्रत्येक ३ वर्षमा नविकरण गर्नुपर्नेछ । Affiliation certificate should be renewed in every 3 year.